



Hello,

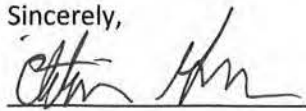
12/20/2022

I am writing a request to have my 40X80 pole barn approved to be erected less than 50 feet from the field it borders, on our 9.8 Acre lot, located at 1640 Kennedy Road Webster, NY. 14580. The following are my responses to the 5 concerns located in the appeals process document:

- 1) We do not feel, or believe that this barn will be esthetically displeasing, or devalue any of our neighboring properties. The proposed barn borders a 60 Acre Hay field, and I have already spoken to the owner of that property, and he just built a pole barn. The barn will conceal all of my various agriculture equipment (Tractor, plow, 4-wheeler, tractor implements, etc). It will also store our 40ft 5th wheel RV, which will improve the "view/look" for our neighbors.
- 2) Unfortunately, the driveway to our home leads directly to the proposed site for the barn, and given the driveway is several hundred feet long/ off of the main road, it is not feasible to install another road into the property AND protect the green space at the same time. This is therefore the best spot for the barn.
- 3) We do feel as though this request is substantial, due to both the need for this on-site storage, as well as the need to keep equipment out of the neighbor's purview.
- 4) We do not see any negative impact to the neighborhood (our closest house to us is several hundred feet away) or to the environment. We will be installing energy efficient insulation, and other environmentally conscious products. This area currently has equipment parked there, so we won't be utilizing anymore space than what is already being used.
- 5) We do not feel as though we have created this issue, as the house was built with the driveway extending/ending at this location, less than 50 feet from our property line.

Thank you all for taking the time to review this application. Please let us know if you have any questions related to the above requested information.

Sincerely,

 Date: 12/20/2022



Christian Gascon Post Frame Building

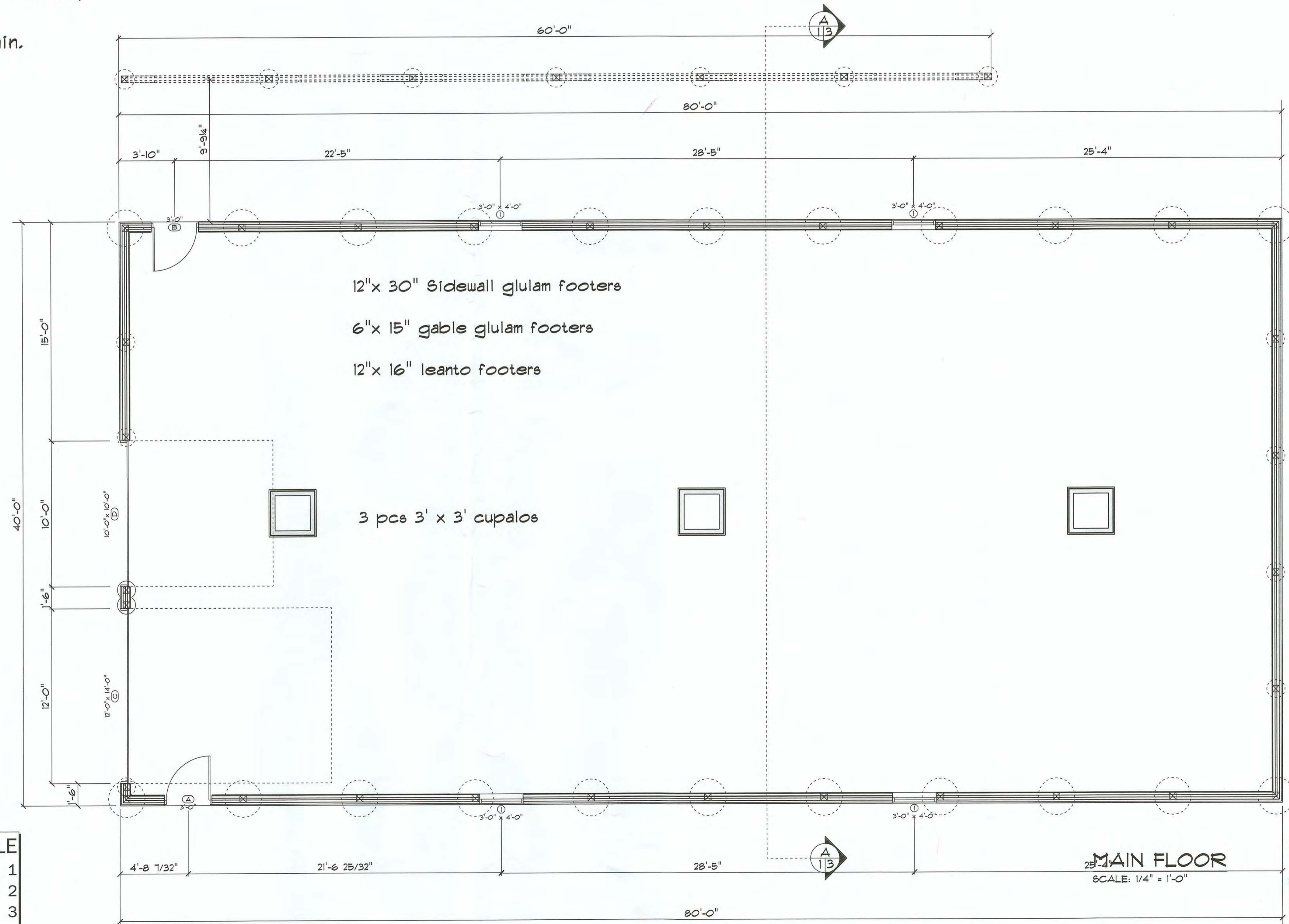


3200 Square feet Storage

Design Criteria

- These plans have been prepared in accordance with the 2020 NYS Building code and meets or exceeds the 2020 Energy Conservation code.
- Contractor shall verify all dimensions indicated on drawings prior to start of work.
- Wind load = 115mph
- Roof = 40psf ground snow load TC LL, 10psf TC DL, 40psf BC LL, 5psf BC DL,
- Soil bearing = 2000psf min.
- Footer depth = 42" below grade min.
- Occupancy = S-1 Storage
- Construction = Type 5B
- All work shall be code compliant

OPENING SCHEDULE				
OPENING ID	PRODUCT CODE	SIZE	HINGE COUNT	
1	36X48 SINGLE HUNG 1	3'-0" x 4'-0"	U	4
A	36X80 DUTCH 1	3'-0"	R	1
B	36X80 DUTCH 1	3'-0"	R	1
C	108X84 ORNATE NARROW-MODIFIED	12'-0" x 14'-0"	U	1
D	96X84 ORNATE NARROW-MODIFIED	10'-0" x 10'-0"	U	1



DRAWING SCHEDULE	
Main Floor	1
Elevations	2
Cross Section A	3
Roof framing & Electrical	4

252-0005
228-0921
RECEIVED
DEC - 8 2022
SCANNED

Seneca Wood Design LLC
 3113 Ferguson Corners Road
 Penn Yan, NY 14527
 PHONE: 315-529-9100
 FAX: 585-526-6801
 MOBILE: senecawooddesign@gmail.com

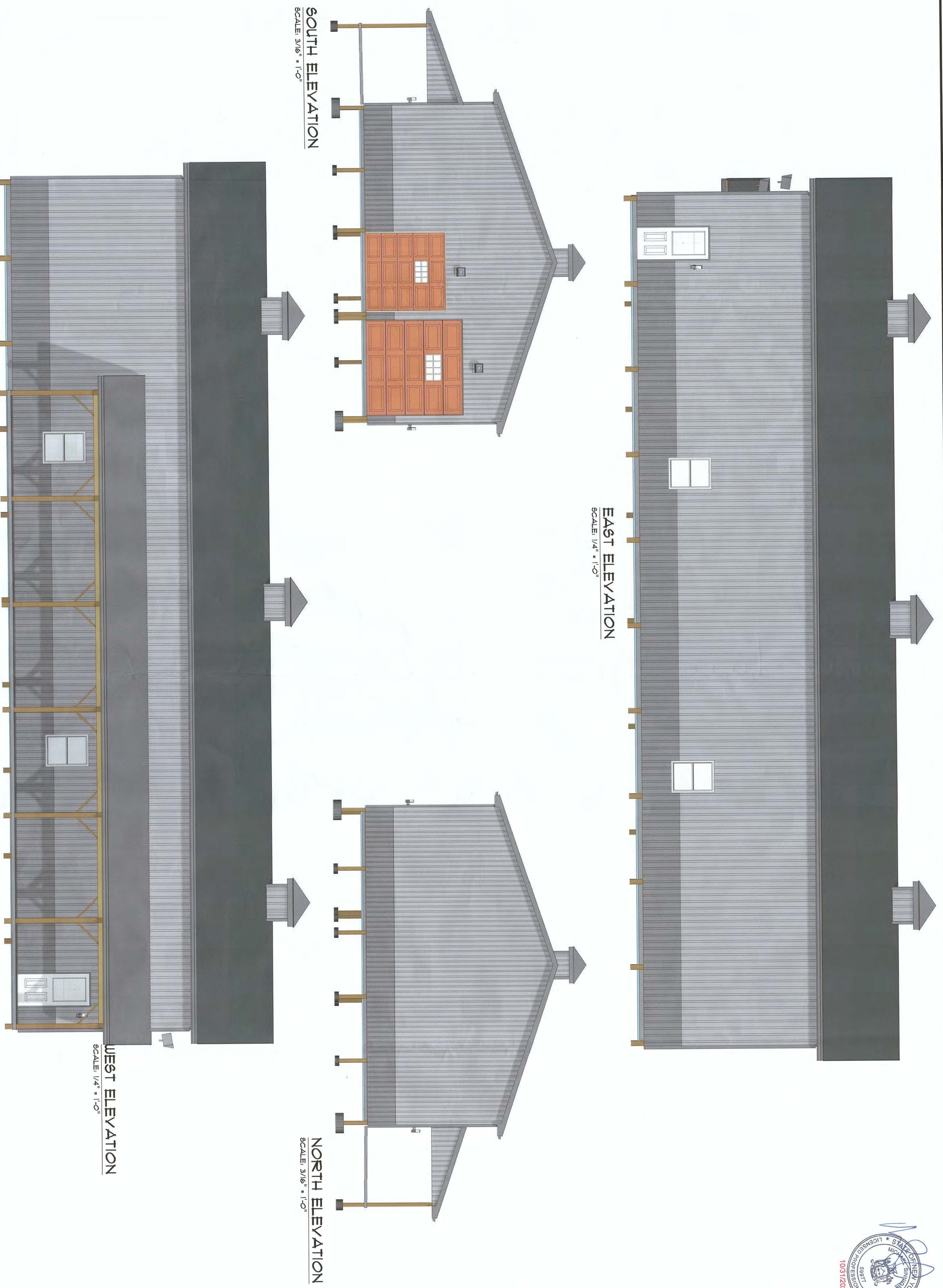
Gasco, Christian Shed
 1640 Kennedy Rd.
 Webster
 New York
 14580
 PHONE: 585-554-5549
 FAX:
 MOBILE:

SCALE: 1/4" = 1'-0"
 DRAWN BY: *William Zimmerman*
 DATE: Friday, October 28, 2022

APPROVED: [Signature]
 CHECKED BY: [Signature]

SECTION LETTER: A
 PAGE NUMBERS: 1/4
 Main Floor

SOFTPLAN
 ARCHITECTURAL DESIGN SOFTWARE



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

EAST ELEVATION
SCALE: 1/4" = 1'-0"

WEST ELEVATION
SCALE: 1/4" = 1'-0"

NORTH ELEVATION
SCALE: 3/16" = 1'-0"



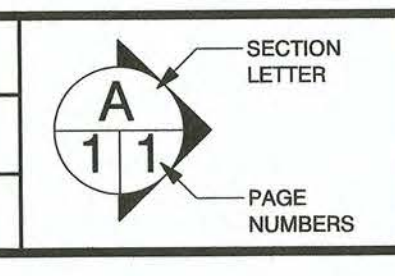
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Gasco, Christian Shed
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Webster FAX:
New York MOBILE:
14580



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3113 Ferguson Corners Road PHONE: 315-529-9100
Penn Yan, NY 14527 FAX: 585-526-6801
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senecawooddesign@gmail.com

SCALE: As Noted
DRAWN BY:
DATE: Friday, October 28, 2022



APPROVED:
CHECKED BY:

PAGE: 2/4
Elevations



Roof system see pg 4
roof framing

R38 blown fiberglass insulation
6 mill poly layer
29ga painted steel ceiling

2x6 subfascia
vented soffit
insulation blocking
glulam or 2x block at each glulam

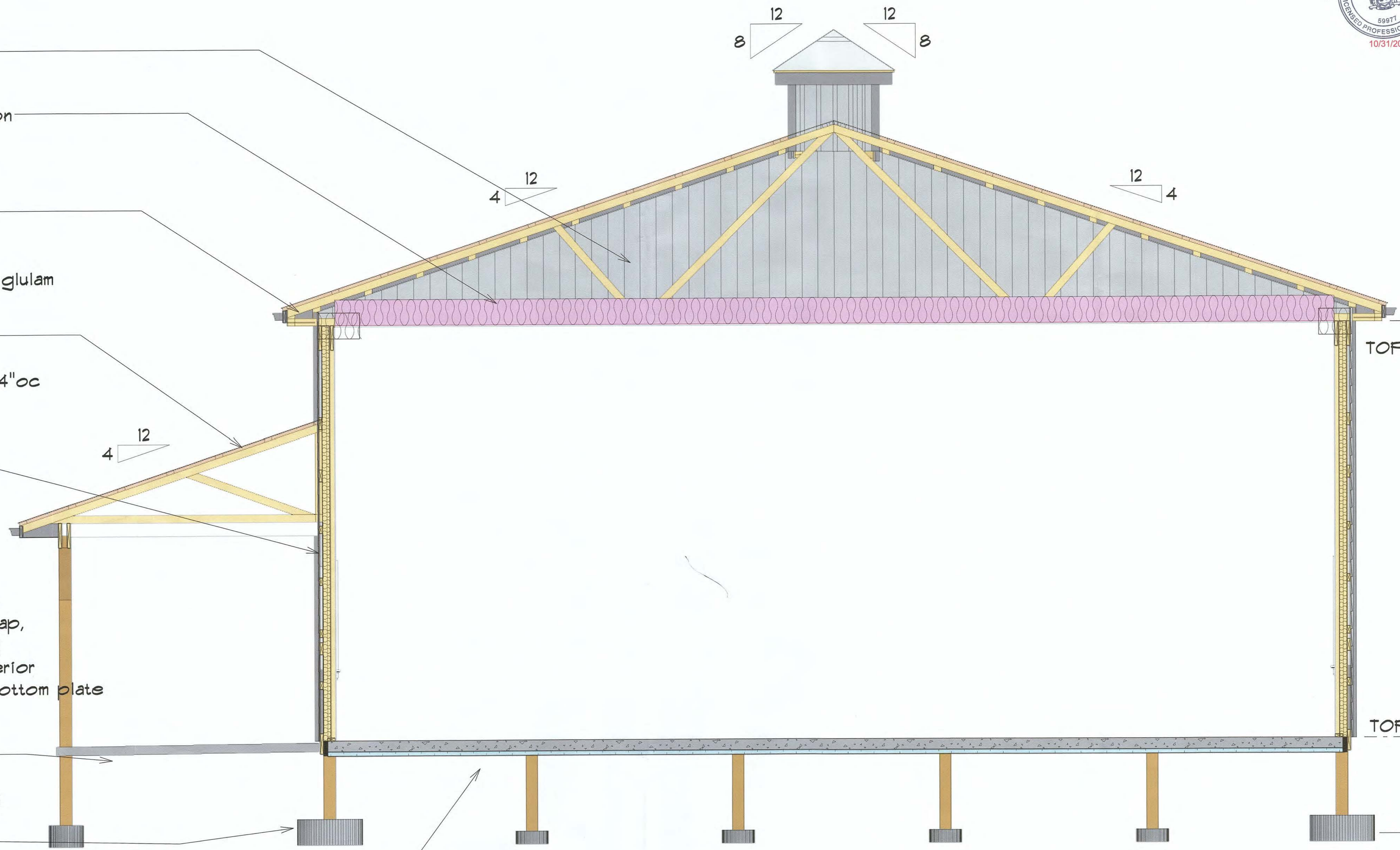
leanto area
mono truss, 48" oc
2x6 subfascia, 2x4 purlins, 24" oc
2 ply 2x12 truss carrier

Exterior walls
4 ply 2x6 glulam, 8' oc,
2x10 treated skirtboard
2x4 wall girts, 24" oc,
2 ply 2x12 truss carrier
notched into glulam,
2x6 wye bracing both side
of glulam, drainage housewrap,
28 ga. painted steel siding
R21 sprayfoam insulation interior
2x4 studs, 24" oc, treated bottom plate
1/2" drywall interior finish

4", 3500psi concrete
10ga. 6x6 wiremesh
4" CR#2 stone, compacted

glulam footers see
main floor plan

5", 3500 psf concrete,
10 ga. 6x6 wiremesh,
2" EPS foamboard, vertical
and horizontal
6 mill poly layer,
4" CR#2 stone, compacted



CROSS SECTION A
SCALE: 1/2" = 1'-0"

APPROVED:
CHECKED BY:

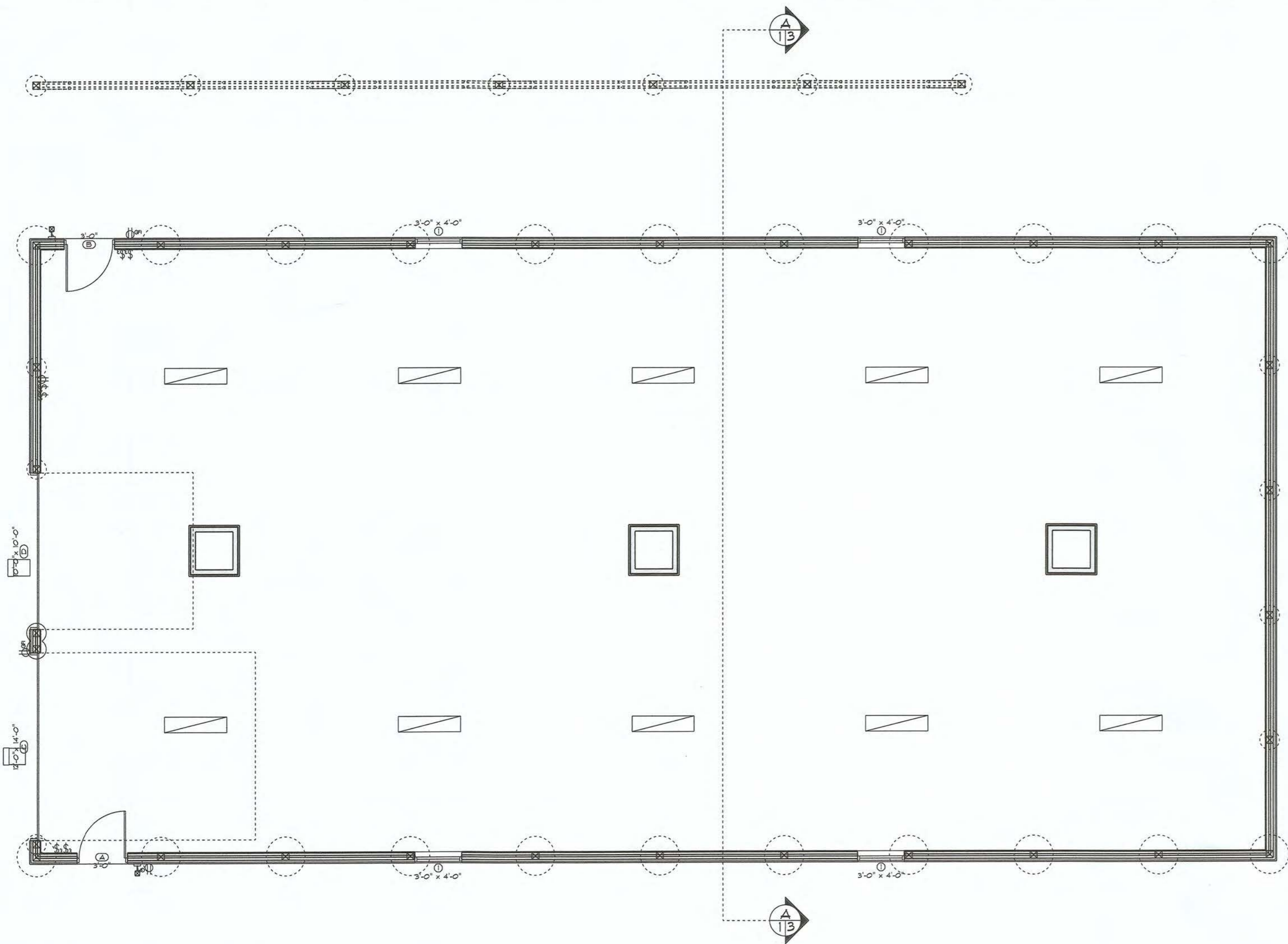
SECTION LETTER: A
PAGE NUMBERS: 1/1

SCALE: 1/2" = 1'-0"
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DATE: Friday, October 28, 2022

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SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

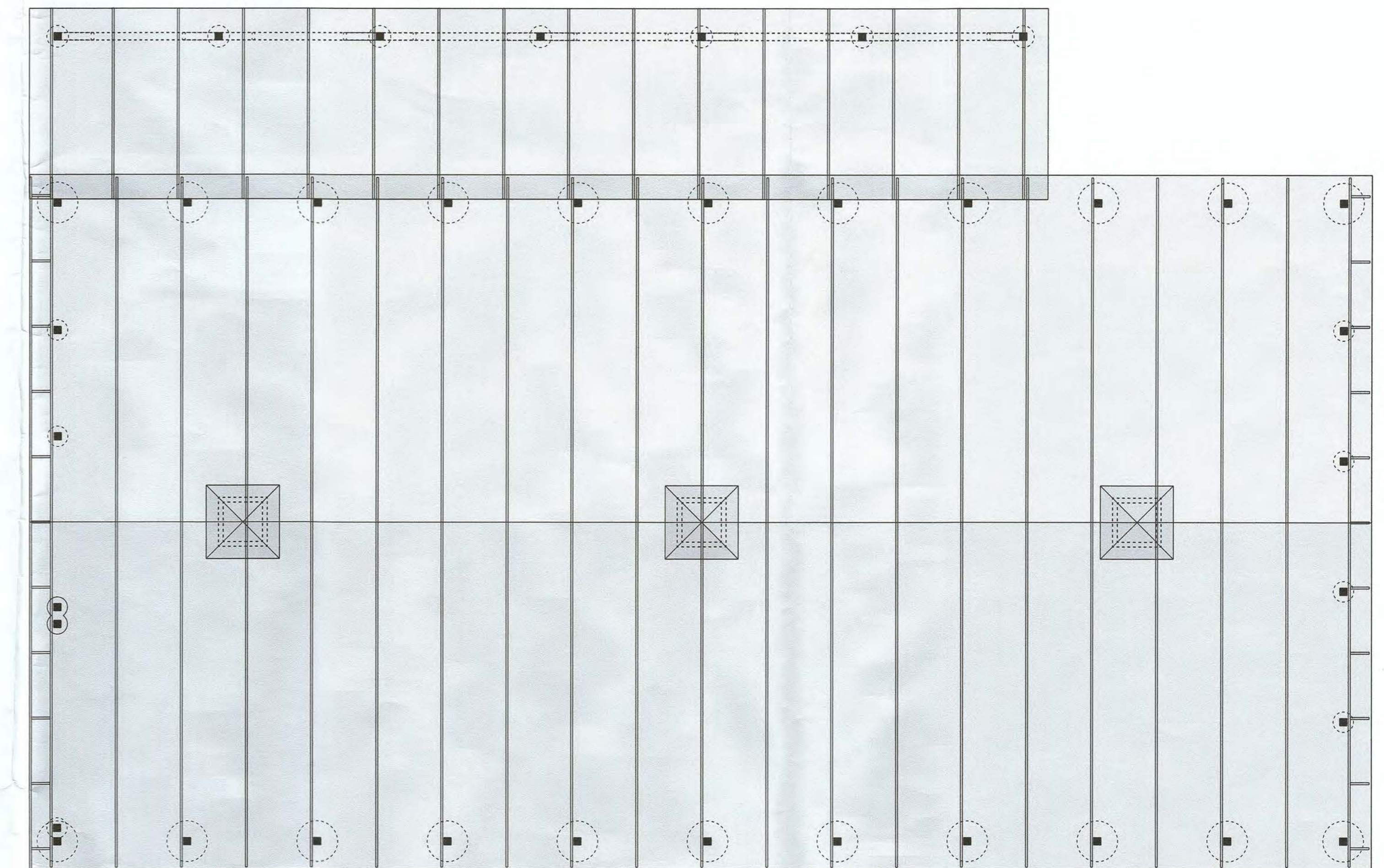
Gasco, Christian Shed
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Webster
New York
14580
PHONE: 585-554-5549
FAX:
MOBILE:



MAIN FLOOR - ELECTRICAL
SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
fluorescent light 1 x 4	10	
wall mount preston	2	
outlet	1	
switch 3 way	6	
flood light	2	
outlet gfi	3	

leanto truss
Engineered mono truss, 4/12 pitch
18" overhang, 5" heel height, 48" oc
attach to 2x12 truss carrier on main building
2 ply 2x12 truss carrier with 6x6 post and
2x6 wye bracing both side of post
post footing see main floor plan



MAIN FLOOR - ROOF
SCALE: 3/16" = 1'-0"

Engineered truss, 4/12 pitch
18" overhang, 13" raised heel, 48" oc

Roof system
Engineered truss, 48" oc,
2x6 subfacia, 2x4 purlins 24" oc
28ga painted steel roof with
Condensstop coating on underside,
vented vinyl soffit and vented ridge cap



PAGE: 4/4
Roof framing & Electrical

APPROVED: _____
CHECKED BY: _____

SECTION LETTER: A
PAGE NUMBERS: 1/1

SCALE: 3/16" = 1'-0"
DRAWN BY: _____
DATE: Friday, October 28, 2022

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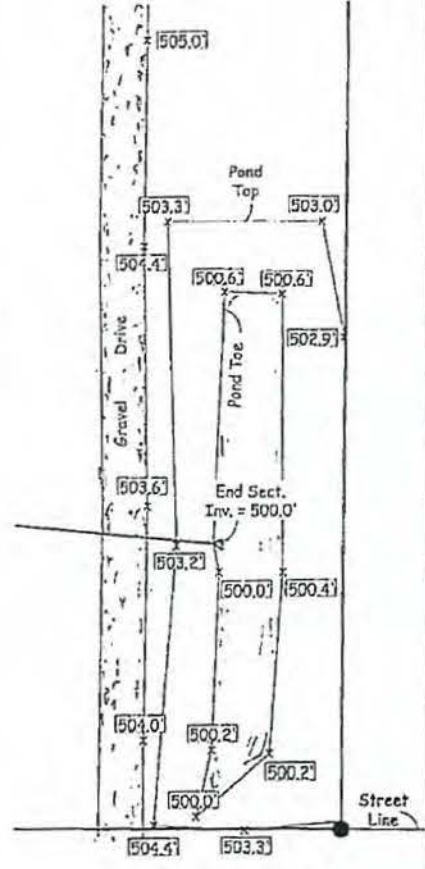
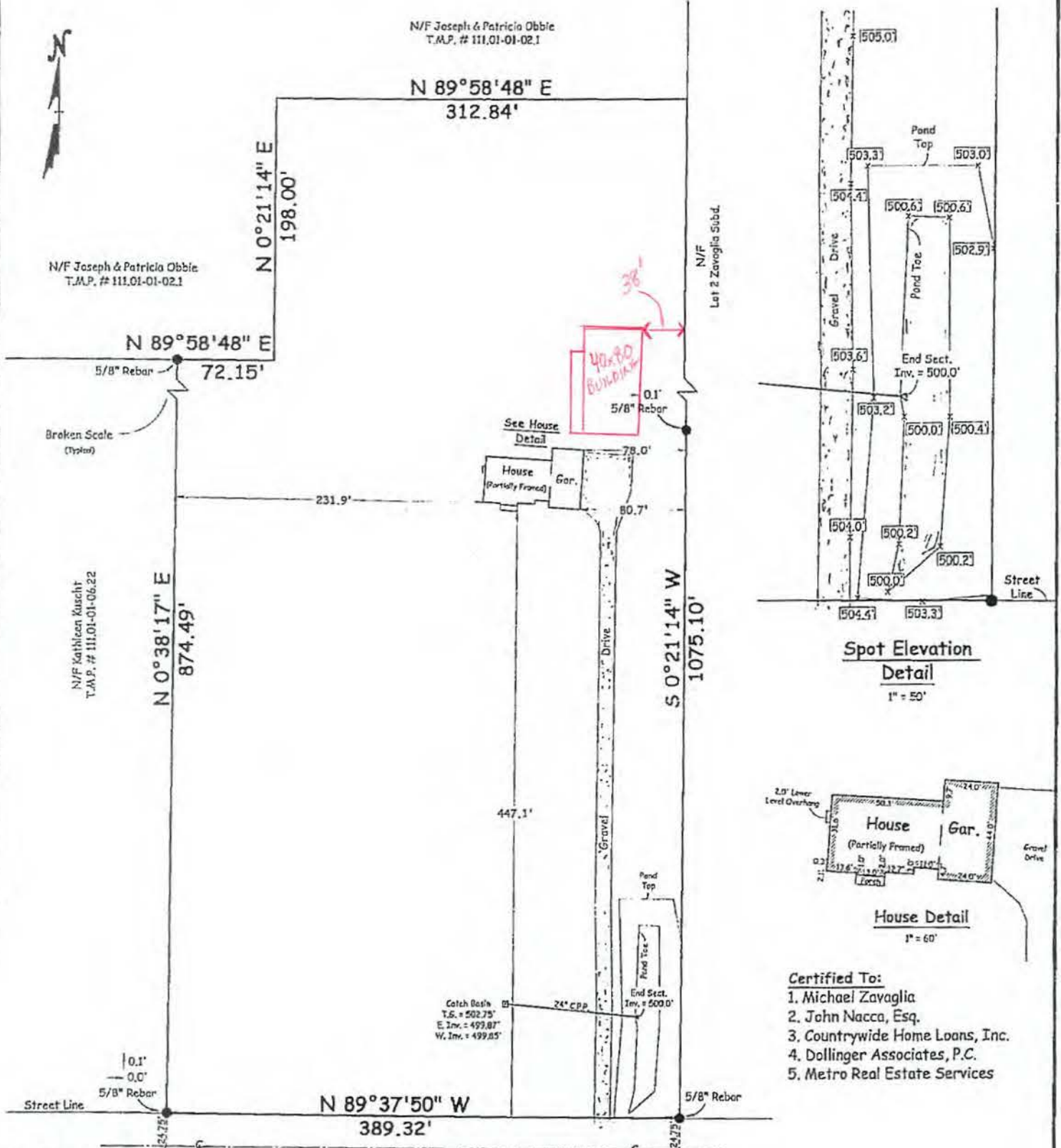
SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

Gasco, Christian Shed
1640 Kennedy Rd.
Webster
New York
14580
PHONE: 585-554-5549
FAX: _____
MOBILE: _____

SCANNED

INSTRUMENT LOCATION MAP

Address: Kennedy Road Town: Penfield County: Monroe, N.Y.
 Lot No: 1 Tract: Zavaglia Subdivision
 Owner: _____ Deed: _____ Map: _____
 Abstract: No Abstract Provided Tax Map Parcel No: _____



- Certified To:**
1. Michael Zavaglia
 2. John Nacca, Esq.
 3. Countrywide Home Loans, Inc.
 4. Dollinger Associates, P.C.
 5. Metro Real Estate Services

Kennedy (49.5' Wide) Road

Scale: 1" = 100'
 Proj. No: 071671

I hereby Certify That This Map Was Prepared From Notes Of An Instrument Survey Completed On June 12, 2007 And From The Notes And References Listed Hereon.

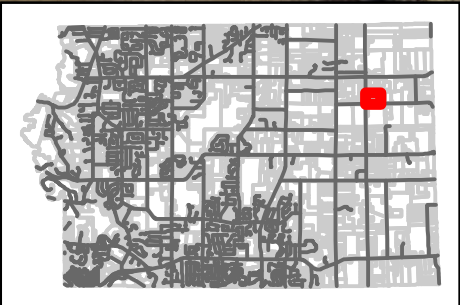
Signed: Nicola R. Montanaro Date: 6-20-07
 Nicola R. Montanaro, N.Y.S.P.L.S. No. 49694

NOTES:
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 4. THIS MAP IS SUBJECT TO ANY ENCUMBRANCES OR EASEMENTS AN ABSTRACT OF TITLE MAY SHOW.
 5. THIS SURVEY IS BASED ON THE BEST AVAILABLE MONUMENTATION FOUND IN THE AREA.



640 KENNEDY RD

NICOLA R. MONTANARO, L.S., P.C.
 N.Y.S. Licensed Land Surveyor
 78 Quail Lane
 Rochester, New York 14624
 (585) 594-5566 (585) 594-2909 Fax



0 105 210 Feet

**1640 Kennedy Rd
Sign Posting Map**

N

The Town of Penfield certifies that this GIS document is a digital reproduction of a map or data collected in-house by the Town of Penfield for the convenience and use by the Public and Town Staff. The Town of Penfield does not make any representations, expressed or implied, as to the accuracy of such record(s).

Salt Road

[unclear] Road

Kennedy Road

1530

1690